

Mariner's Pointe Substantial Conformance Review



Planning Commission
Public Hearing
February 7, 2013

STAFF PRESENTATION (PA2010-114)





104

100

303

11C

12C

403

200

224

300

300

320

400

410

COAST HWY W

DOVER DR

BAY SHORE DR

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2891

2691

2681

2671

2661

2651

2641

2631

2621

2611

2601

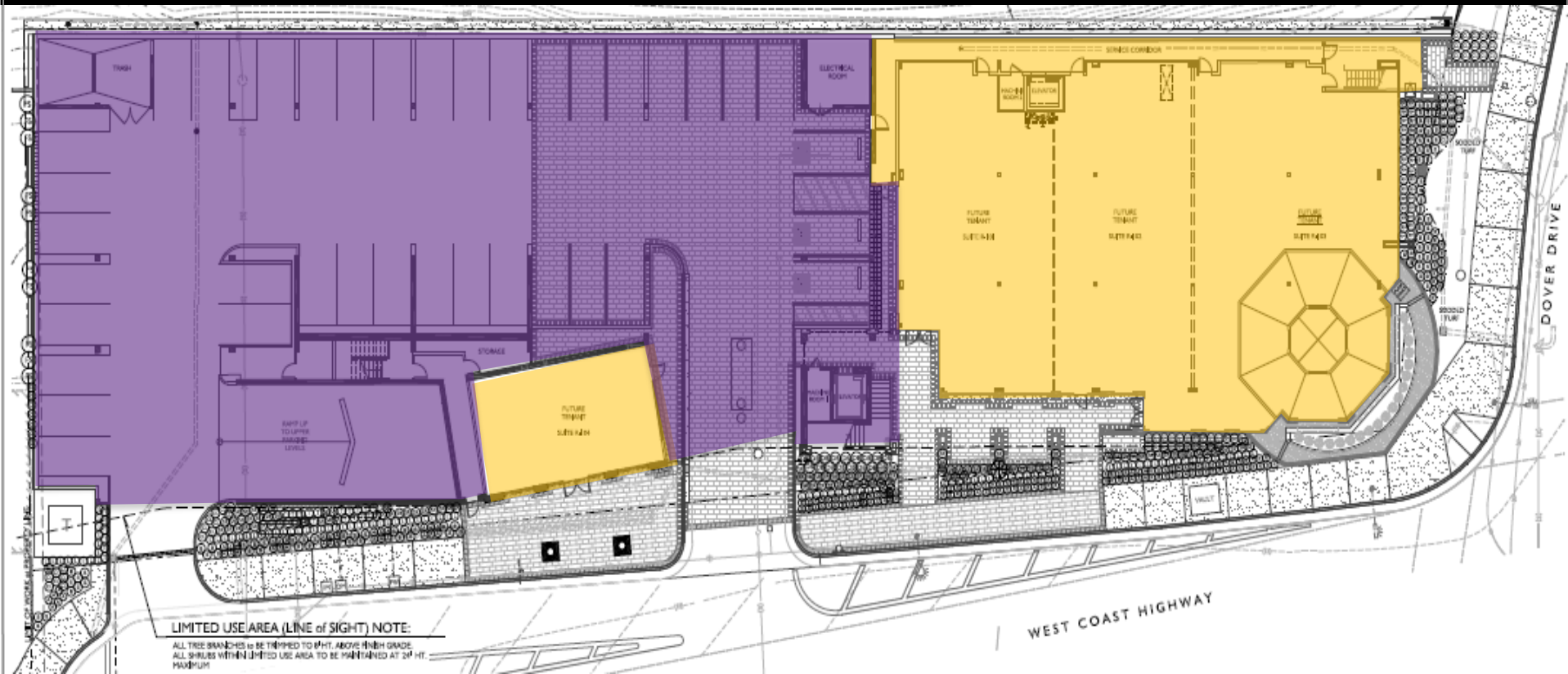
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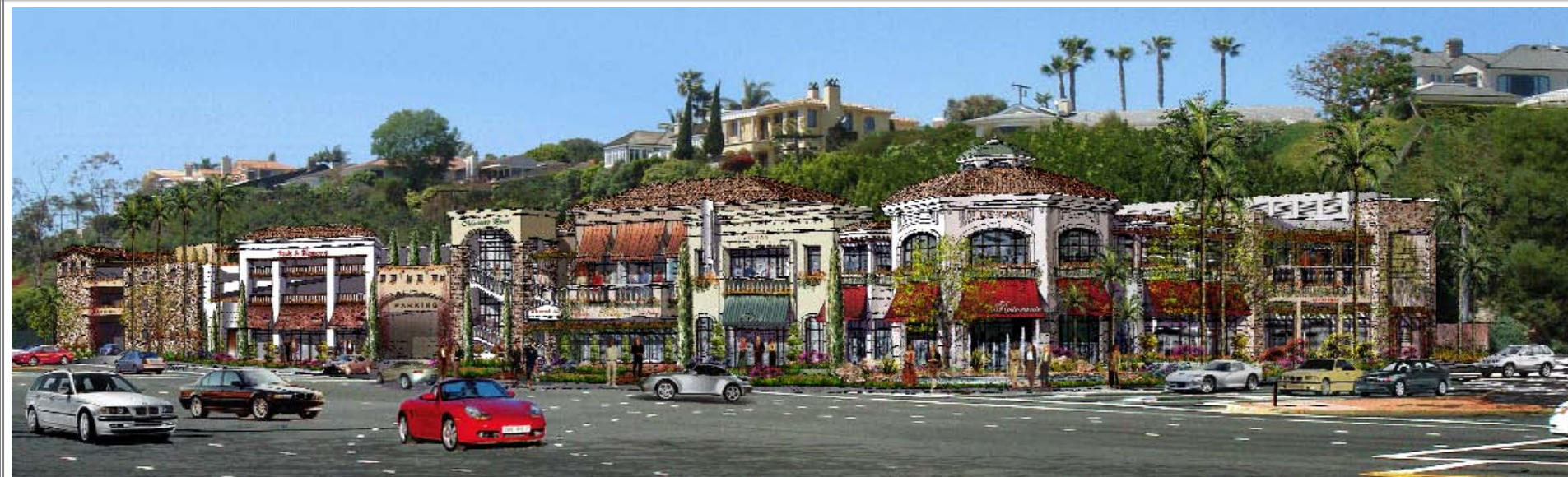
1-8

**Approved Project
City Council August 9, 2011**



- Two-story 19,905 sf commercial building and three-level structure
- 9,557 sf restaurants, 8,651 sf retail & 1,697 sf medical

Approved Conceptual Plan City Council August 9, 2011



Conditions of Approval



- Condition No. 4- PC review of final building elevations and roof plan to ensure that high level of architectural detail and treatments illustrated on conceptual plan are implemented
- Condition No. 20- PC review of final landscape and irrigation plan to ensure landscape improvements illustrated on conceptual plan are implemented
- Any substantial changes shall require PC approval

Final Architectural Plans

Planning Commission June 7, 2012



Proposed Revisions Architectural Plans



Comparison



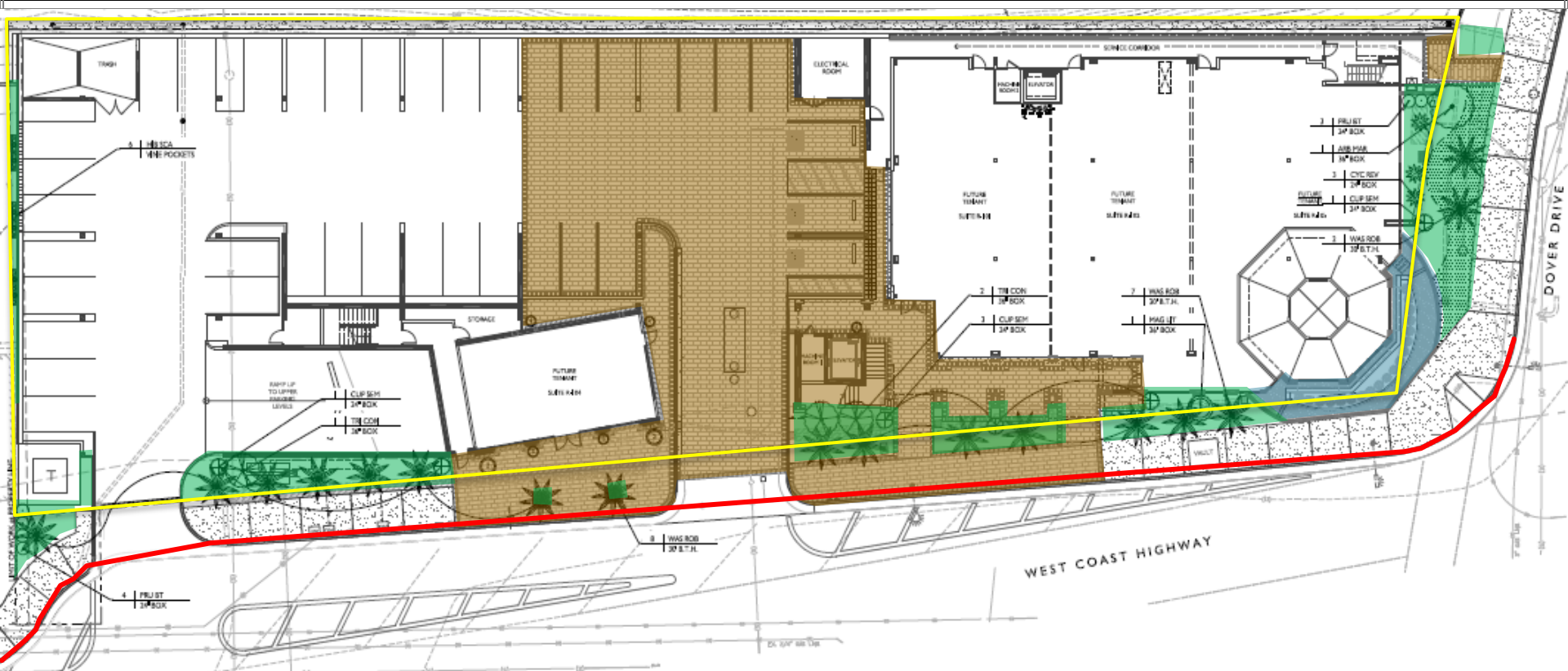
Enlarged View



Flower Display Cases

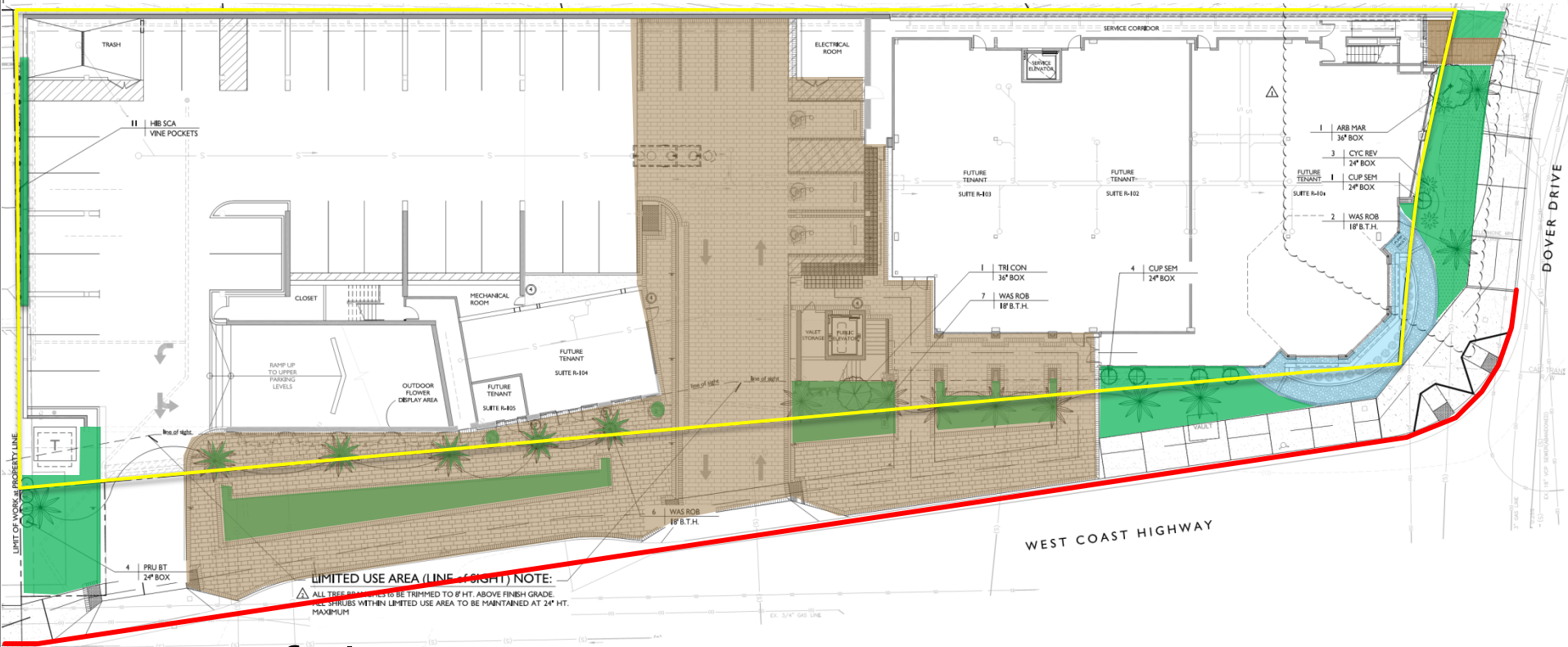


Approved Final Landscape Plan



- 2,460 sf planter area
- 17 palm trees (15 on WCH frontage)

Proposed Landscape Revisions



- 3,035 sf planter area
- 15 palm trees (13 on WCH frontage)
- 1,312 sf in WCH R.O.W., subject to widening



For more information contact:

Jaime Murillo
949-644-3209
jmurillo@newportbeachca.gov
www.newportbeachca.gov